



2024
FINAL DEVELOPMENT PLAN
HOPE TIMBER DEVELOPMENT
 11062 BEAVER ROAD NW
 JERSEY TOWNSHIP, LICKING COUNTY, OHIO

PROJECT DESCRIPTION

THIS DEVELOPMENT PLAN INCLUDES THE CONSTRUCTION OF A NEW 11,664 S.F. BUILDING, SEMI-TRUCK PARKING AREA, AND ENTRANCE IMPROVEMENTS. SITE IS LOCATED AT 11062 BEAVER ROAD NW IN JERSEY TOWNSHIP, LICKING COUNTY, OHIO.

2023 SPECIFICATIONS

THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, INCLUDING SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PLANS AND CHANGES LISTED IN THE PROPOSAL SHALL GOVERN THIS IMPROVEMENT.

INDEX OF SHEETS

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| ARCHITECTURAL ELEVATIONS | (BY OTHERS) |

OWNER/DEVELOPER

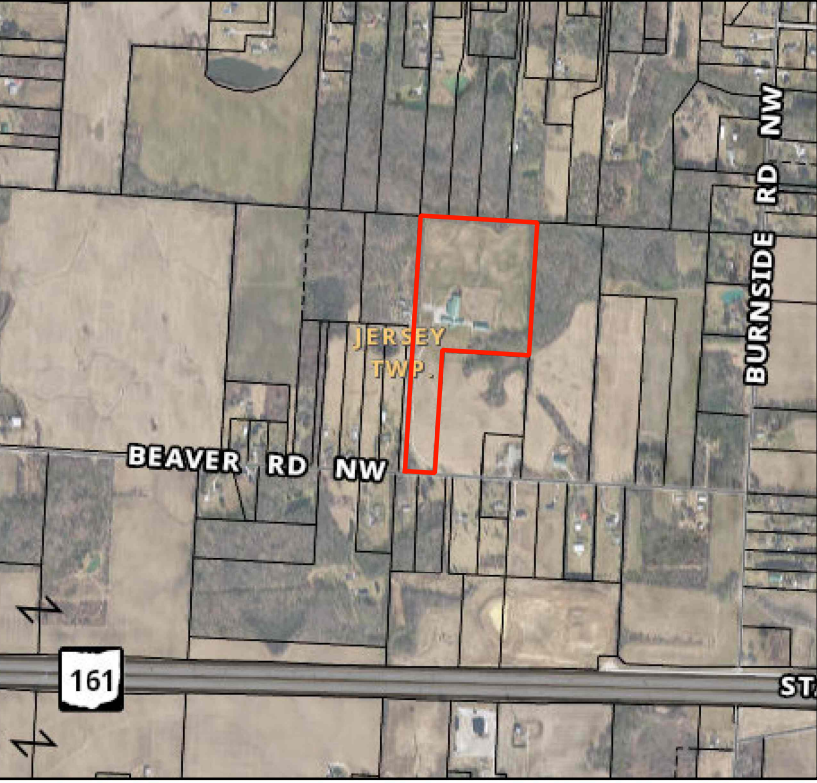
HOPE TIMBER PALLET & RECYCLING
 TOM HARVEY
 141 UNION STREET
 NEWARK, OH 43055
 Ph.: (740) 344-1788

ARCHITECT

PROJECT CONSTRUCTION
 LUKE BAUS
 149 E. MAIN STREET
 HEBRON, OH 43025
 Ph.: (740) 404-0896
 luke@projectconstructionco.com



LOCATION MAP



SITE LOCATION
 LATITUDE: 40°05'21.54"N LONGITUDE: 82°41'47.81"W

HOPE TIMBER
 FINAL DEVELOPMENT PLAN
 JERSEY TOWNSHIP, LICKING COUNTY, OHIO

| PROJECT DATA | |
|--|-----------------------------------|
| TOTAL AREA: | 32.25 ACRES |
| PROJECT EARTH DISTURBANCE: | 6.53 ACRES |
| ESTIMATED CONTRACTOR DISTURBANCE: (OUTSIDE PROJECT AREA) | 1.00 ACRES |
| NOTICE-OF-INTENT DISTURBANCE: (TOTAL DISTURBANCE) | 7.53 ACRES |
| SITE IMPERVIOUS AREA: (PRE-CONSTRUCTION) | 1.87 ACRES |
| SITE IMPERVIOUS AREA: (POST-CONSTRUCTION) | 3.60 ACRES |
| RECEIVING WATERS: | UN-NAMED TRIBUTARY TO CORNELL RUN |

| STANDARD CONSTRUCTION DRAWINGS | | | |
|-----------------------------------|--|-----------------------------|--|
| OHIO DEPARTMENT OF TRANSPORTATION | | SUPPLEMENTAL SPECIFICATIONS | |
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| REVISIONS | | |
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| ENGINEER'S SEAL |
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DESIGN AGENCY

 88 West Church Street
 Newark, OH 43055
 (740) 345-1921 (ph)
 www.adrinnovation.com

DESIGNER
 MRS

REVIEWER
 BJW 07-29-24

PROJECT ID
 24-024

| | |
|-------|-------|
| SHEET | TOTAL |
| 1 | 8 |

CURRENT OWNER

BEAVER RD LLC
 c/o LANA AHLUM
 7326 STATE ROUTE 19
 MOUNT GILEAD, OH 43338
 Ph.: (614) 207-3867

DEVELOPER

HOPE TIMBER PALLET & RECYCLING
 TOM HARVEY
 141 UNION STREET
 NEWARK, OH 43055
 Ph.: (740) 404-1189
 tharvey@hopetimber.com

SITE INFORMATION

ADDRESS: 11062 BEAVER RD
 AUDITORS PAR. NO.: 036-110304-00.001
 SITE AREA: 32.948 Ac. (TOTAL)
 LOT AREA: 31.491 Ac.
 R/W: 0.457 Ac.

ZONING INFORMATION

EXISTING ZONING "RR-3" - RURAL RESIDENTIAL
 "WCOD" - WORTHINGTON CORRIDOR OVERLAY DISTRICT
 SUBAREA "IE" - INNOVATION EMPLOYMENT
 EXISTING USE: AGRICULTURAL
 PROPOSED USE: MANUFACTURING
 (NAICS 321920 - WOOD CONTAINER & PALLET MANUFACTURING)

DEVELOPMENT STANDARDS

MINIMUM TRACT SIZE: 5.0 AC.
 BUILDING HEIGHT: 60' MAXIMUM
 LOT WIDTH: 1/3 OF LOT DEPTH (SEE "DIVERGENCE FROM STANDARDS" BELOW)
 LOT COVERAGE: 80% MAXIMUM
 BUILDING SETBACKS: 100' FRONT* (FROM LOCAL STREET R/W)
 60' SIDE (UNLESS ABUTTING A RESIDENTIAL DISTRICT)
 100' SIDE (WHEN ABUTTING A RESIDENTIAL DISTRICT)
 60' REAR (UNLESS ABUTTING A RESIDENTIAL DISTRICT)
 100' REAR (WHEN ABUTTING A RESIDENTIAL DISTRICT)
 MULTI-USE PATH EASEMENT: 15' WIDE (FOR FUTURE USE)

* FRONT SETBACK NOT APPLICABLE DUE TO SIDE SETBACKS EXCEEDING THE LOT WIDTH.

LANDSCAPING / SCREENING

LANDSCAPING SETBACK: 10' WIDTH ALONG FRONTAGE**
 - 1 TREE PER 30' FRONTAGE
 SCREENING: 5' TALL BETWEEN RESIDENTIAL & NON-RESIDENTIAL USES**
 - HEDGE ROW, TREES, MOUNDING, OR COMBINATION

** EXISTING TREELINES NOTED "TO REMAIN UNDISTURBED" SATISFYING REQUIREMENTS.

PARKING / LOADING SPACES

PARKING SETBACK: 40' FRONT
 5' SIDE (WHEN ABUTTING LIKE USE)
 100' SIDE (WHEN ABUTTING RESIDENTIAL USE)
 PARKING SPACES REQUIRED: 2.0 SPACES PER 1,000 S.F. (MIN.)
 2.5 SPACES PER 1,000 S.F. (MAX.)
 PARKING SPACES PROVIDED: 5 SPACES (SEE "DIVERGENCE FROM STANDARDS" BELOW)
 LOADING SPACES REQUIRED: 1 SPACE
 LOADING SPACES PROVIDED: 16 SPACES

DIVERGENCE FROM STANDARDS:

SECTION 14.05.F.3:
 A DIVERGENCE FROM THIS STANDARD IS REQUESTED TO REDUCE THE MINIMUM LOT WIDTH REQUIRED FROM 752.64' TO THE CURRENTLY RECORDED 250.01'. NO REDUCTION OF THE EXISTING LOT WIDTH IS PROPOSED AS PART OF THIS DEVELOPMENT.

SECTION 14.05.H.3.b.2:
 A DIVERGENCE FROM THIS STANDARD IS REQUESTED TO REDUCE THE MINIMUM NUMBER OF PARKING SPACES REQUIRED FROM 12 TO 6 BASED ON NUMBER OF EMPLOYEES (5) ON THE LARGEST SHIFT. AMPLE SPACE IS AVAILABLE FOR ADDITIONAL PARKING IF A CHANGE OF USE WERE TO OCCUR IN THE FUTURE.

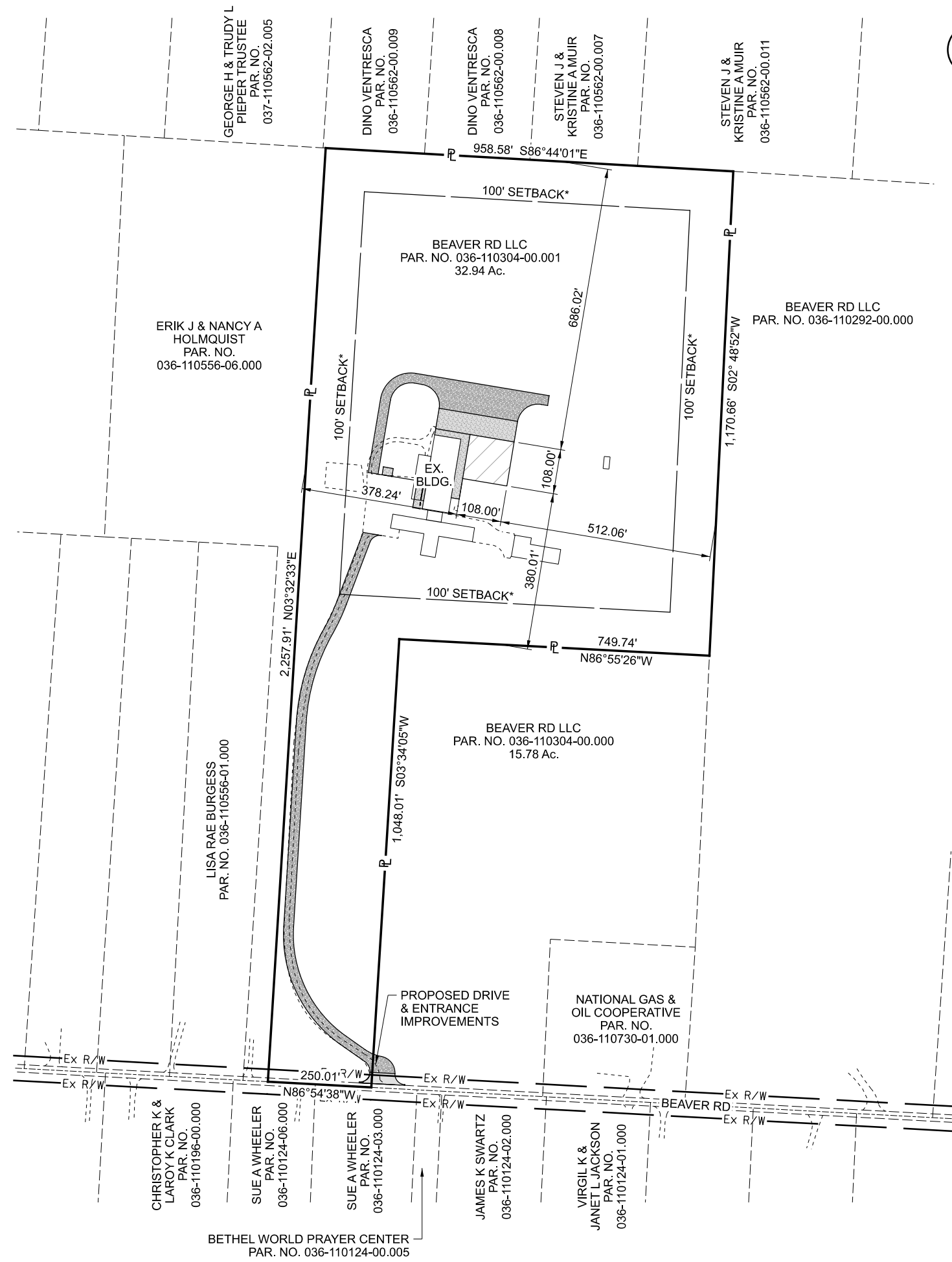
SECTION 14.05.H.4.D:
 A DIVERGENCE FROM THIS STANDARD TO ELIMINATE THE REQUIREMENT FOR INSTALLATION OF A 10' MULTI-USE-PATH ALONG THE FRONTAGE OF THE PARCEL AS THERE IS NO POTENTIAL CONNECTIVITY ANYWHERE ALONG BEAVER ROAD. A 15' MULTI-USE PATH EASEMENT HAS BEEN PROVIDED ALONG THE PARCEL FRONTAGE FOR FUTURE INSTALLATION.

ENVIRONMENTALLY SENSITIVE AREAS (WETLANDS)

ENVIRONMENTALLY SENSITIVE AREAS (WETLANDS) SHALL BE RESTRICTED FROM ANY DEVELOPMENT OR ANY DISTURBANCE AND REMAIN IN ITS NATURAL STATE, UNLESS PROPERLY PERMITTED AND MITIGATED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE) AND/OR THE OHIO ENVIRONMENTAL PROTECTION AGENCY (OEPA).

NO ACTIVITY OR USE WHICH WOULD AS A NATURAL CONSEQUENCE OF SUCH, IMPEDE OR MAKE MORE DIFFICULT THE ACCOMPLISHMENT OF THE PURPOSE OF WHICH THE BUFFER WAS CREATED. ADDITIONAL RESTRICTION INCLUDE:

1. NO DUMPING OR BURNING OF REFUSE, INCLUDING YARD WASTE.
2. NO HUNTING OR TRAPPING.
3. NATURAL RESOURCES OF THE ZONE SHALL REMAIN UNDISTURBED AND NO TOPSOIL, SAND, GRAVEL, OR ROCK SHALL BE EXCAVATED, REMOVED, OR GRADED.
4. NOTHING SHALL BE PERMITTED TO OCCUR WITHIN THE BUFFER WHICH WOULD CONTRIBUTE TO THE EROSION OF THE LAND. NO TREES SHALL BE CUT OR REMOVED, EXCEPT FOR DEAD, DISEASED, NOXIOUS, OR DECAYED TREES OR VEGETATION WHICH MAY BE REQUIRED FOR CONSERVATION OF SCENIC PURPOSES, OR FOR REASONS OF PUBLIC SAFETY. TREES FELLED FOR PURPOSE NOTED ABOVE SHALL OCCUR IN A NEAT MANNER, AND STUMPS SHALL REMAIN IN PLACE.
5. NO PUBLIC ENCROACHMENT SHALL BE PERMITTED SUCH AS, BUT NOT LIMITED TO, PLANTING OF FLOWERS, SHRUBS, GARDEN MATERIALS, ETC., DUMPING OF REFUSE OR DEBRIS, OR THE INSTALLATION OF ANY TYPE OF RECREATION OR OTHER FACILITY OR CONVENIENCE.



SCHEMATIC PLAN

DESIGN AGENCY



DESIGNER

MRS

REVIEWER

BJW 07-29-24

PROJECT ID

24-024

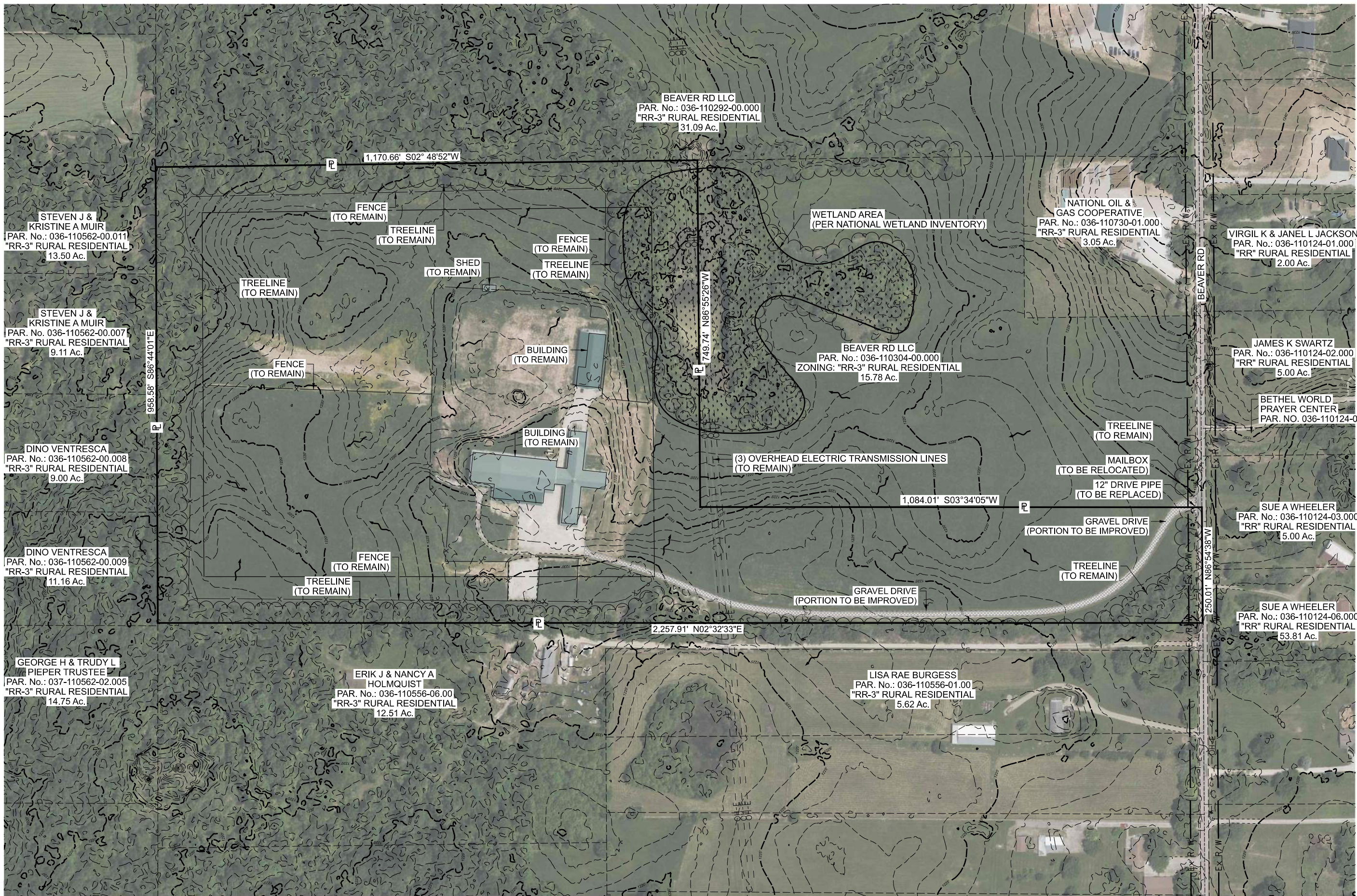
SHEET

TOTAL

2 | 8

HOPE TIMBER - FINAL DEVELOPMENT PLAN

MODEL: Sheet PAPER SIZE: 17x11 (in.) DATE: 7/29/2024 TIME: 7:45:23 AM USER: bwood
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EXISTING CONDITIONS MAP

DESIGN AGENCY
ADR
 An Employee Owned Company
 88 West Church Street
 Newark, OH 43055
 (740) 345-1921 (ph)
 www.adrinnovation.com

| | |
|------------|----------|
| DESIGNER | MRS |
| REVIEWER | BJW |
| PROJECT ID | 07-29-24 |
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| SHEET | TOTAL |
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PLAN NOTES

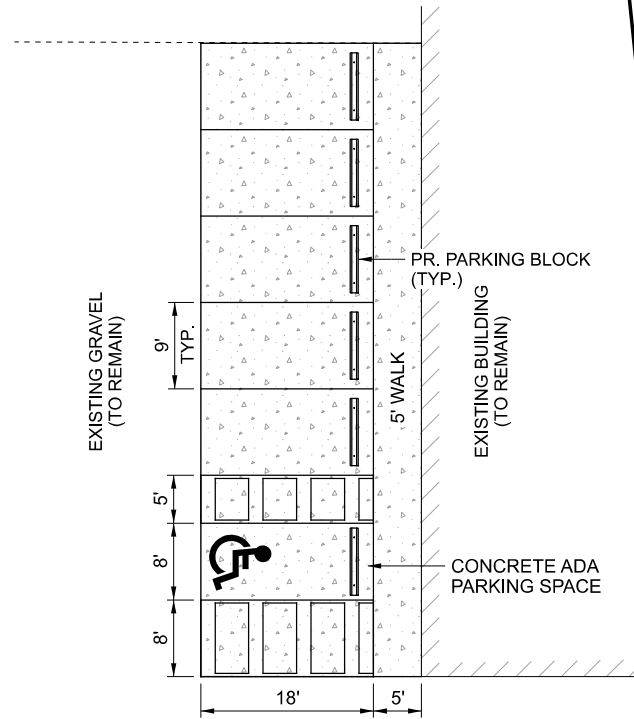
[A] NOTHING SHALL BE ERECTED, PLACED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER AS TO MATERIALLY IMPEDE OR RESTRICT VISION BETWEEN A HEIGHT OF TWO AND ONE HALF (2 1/2) FEET AND TEN (10) FEET ABOVE THE CENTER LINE GRADES OF THE INTERSECTING ROAD & DRIVEWAY. EXISTING VEGETATION IN THIS AREA SHALL BE MANICURED OR REMOVED TO MEET THIS REQUIREMENT.

[B] PROPOSED GRAVEL ADJACENT TO THE LOADING ZONE PROVIDES SUFFICIENT TURNING RADIUS FOR BOTH SEMI TRUCK AND FIRE APPARATUS TRAFFIC

NO TRAFFIC MUST ACCESS A PUBLIC ROAD RIGHT-OF-WAY TO GAIN ACCESS BACK INTO THE DEVELOPMENT.

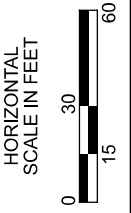
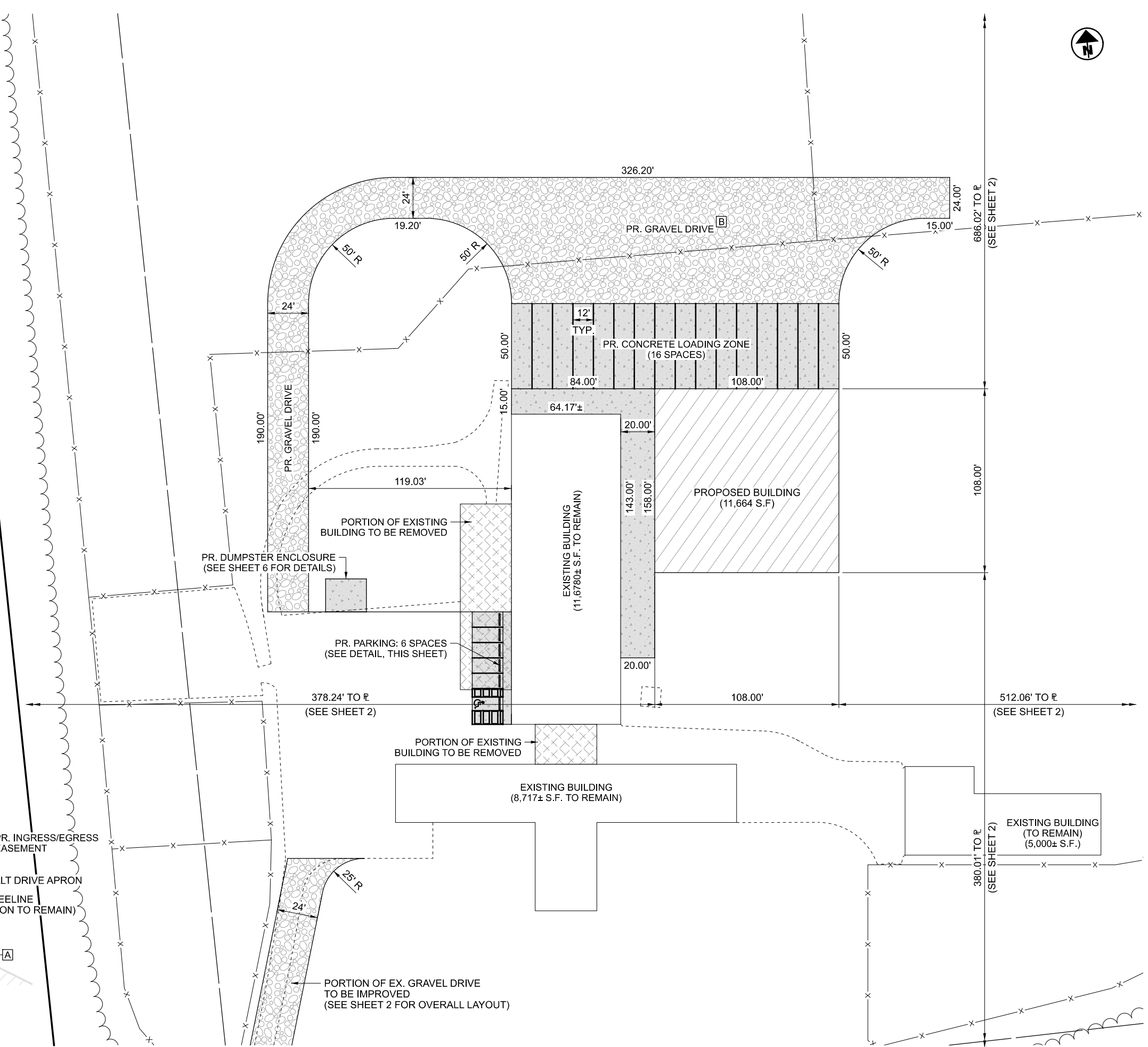
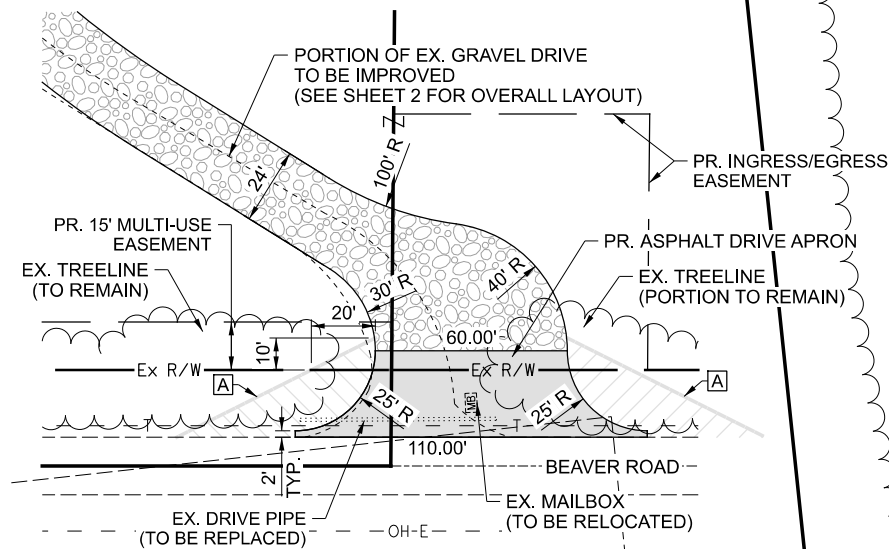
PARKING DETAIL

SCALE: 1" = 10'-0"



ENTRANCE IMPROVEMENTS

SCALE: 1" = 30'-0"



SITE LAYOUT PLAN

DESIGN AGENCY
ADR
 An Employee Owned Company
 88 West Church Street
 Newark, OH 43055
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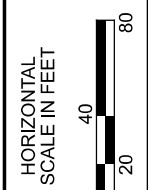
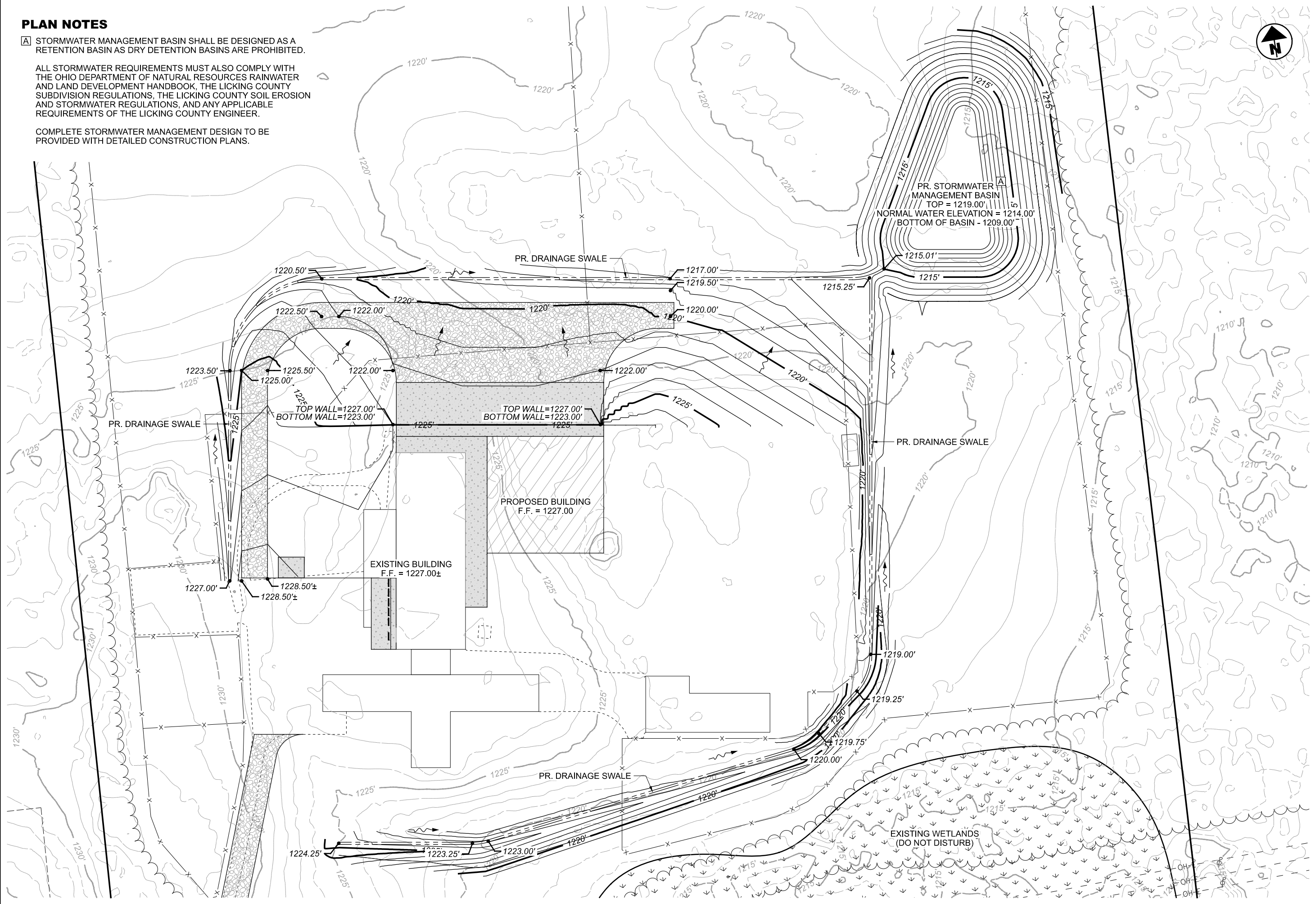
DESIGNER
MRS
 REVIEWER
 BJW 07-22-24
 PROJECT ID
 24-024
 SHEET TOTAL
 4 8

PLAN NOTES

A STORMWATER MANAGEMENT BASIN SHALL BE DESIGNED AS A RETENTION BASIN AS DRY DETENTION BASINS ARE PROHIBITED.

ALL STORMWATER REQUIREMENTS MUST ALSO COMPLY WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES RAINWATER AND LAND DEVELOPMENT HANDBOOK, THE LICKING COUNTY SUBDIVISION REGULATIONS, THE LICKING COUNTY SOIL EROSION AND STORMWATER REGULATIONS, AND ANY APPLICABLE REQUIREMENTS OF THE LICKING COUNTY ENGINEER.

COMPLETE STORMWATER MANAGEMENT DESIGN TO BE PROVIDED WITH DETAILED CONSTRUCTION PLANS.



GRADING PLAN

DESIGN AGENCY

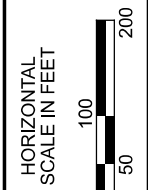
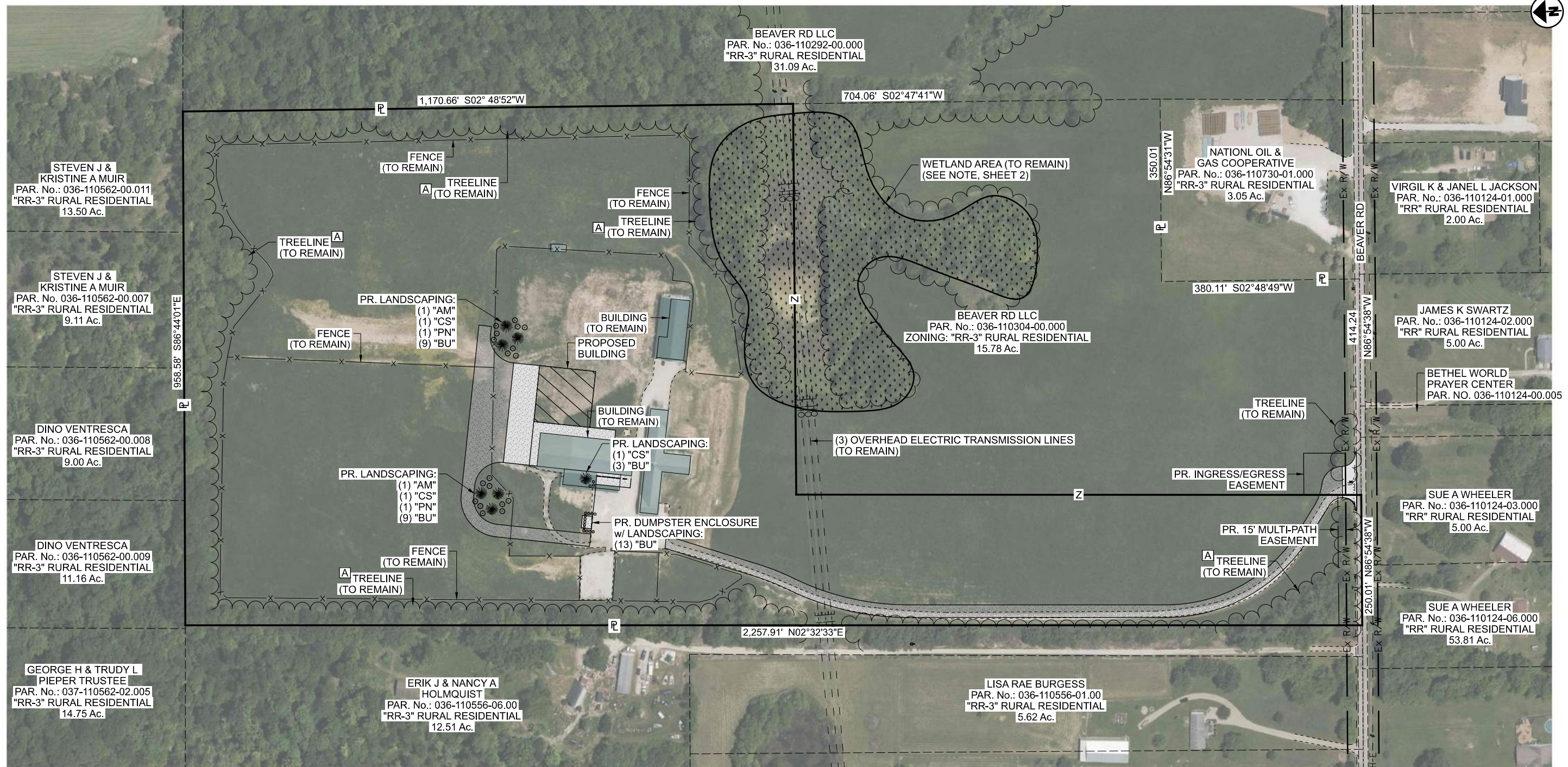


DESIGNER
BJW

REVIEWER
BCK 07-29-24

PROJECT ID
24-024

SHEET TOTAL
5 8



LANDSCAPING PLAN

EXISTING TREELINE / WOODED AREAS:

- A** CLEARING OF TREES AND/OR VEGETATION SHALL BE KEPT TO A MINIMUM. MASS CLEARING SHALL NOT BE PERMITTED WITHIN 40' OF THE PARCEL BOUNDARY TO MAINTAIN BUFFERING/SCREENING TO PROTECT NEIGHBORING PROPERTIES FROM NEGATIVE IMPACTS.
- B** WHERE CLEARING OCCURS AND ELIMINATES THE NATURAL BUFFER, THE OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION A 6' TALL LANDSCAPING MOUND WITH VEGETATION (36" MINIMUM) INSTALLED ON TOP OF MOUND. VEGETATION MAY BE TREES, SHRUBS, OR PRAIRIE GRASS.

LANDSCAPING NOTES

ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.

CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.

SHRUBS AND HEDGES SHALL BE 2' MINIMUM HEIGHT.

PLANTING SCHEDULE

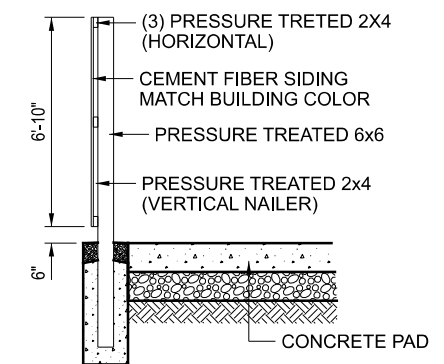
LANDSCAPING TREES

| ID | QTY. | SIZE | COMMON (BOTANICAL) NAME |
|------|------|-----------|------------------------------------|
| "AM" | 2 | 3" CAL. | ACER MAPLE (ACER PALMATUM) |
| "CS" | 3 | 5'-6" HT. | COLORADO SPRUCE (PICEA PUNGENS) |
| "PN" | 2 | 3" CAL. | PRUNUS NEWPORT (PRUNUS CERASIFERA) |
| "BU" | 34 | 36" HT. | BUXUS (BUXUS SEMPERVIRENS) |

LANDSCAPING VEGETATION

| ID | QTY. | SIZE | COMMON (BOTANICAL) NAME |
|------|------|--------|---|
| "LV" | TBD | 3 GAL. | INDIANGRASS (SORGHASTRUM NUTANS) KARL FOERSTER REED GRASS (CALAMAGROSTIS x ACUTIFLORA) |

DUMPSTER ENCLOSURE DETAIL



DUMPSTER SHALL BE SCREENED ON ALL SIDES.

DESIGN AGENCY
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 An Employee Owned Company
 88 West Church Street
 Newark, OH 43055
 (740) 345-1921 (ph)
 www.adrinnovation.com

DESIGNER
MRS

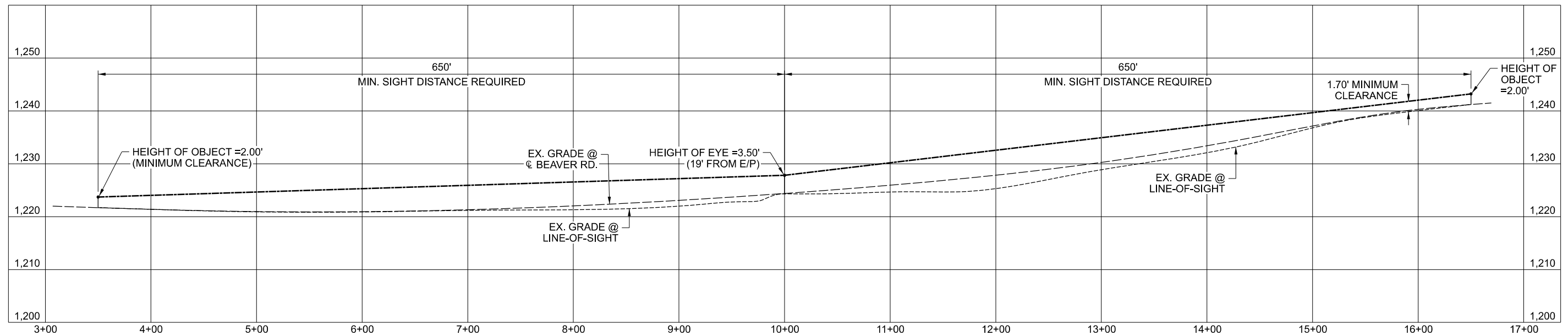
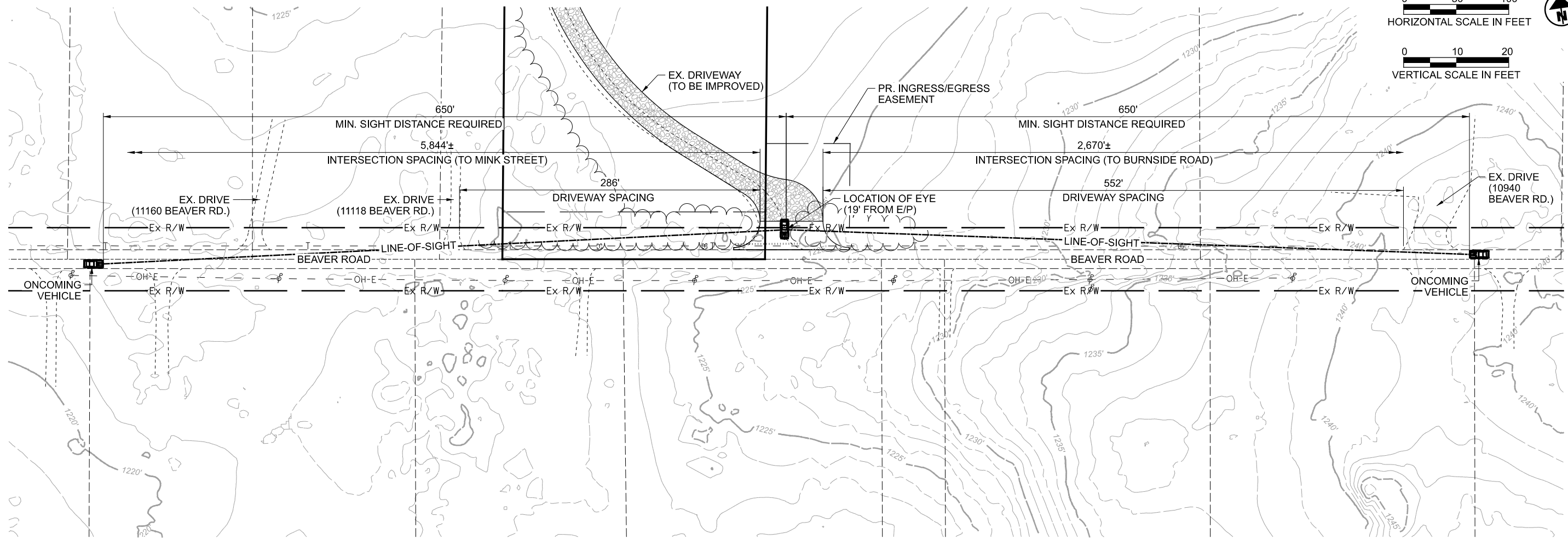
REVIEWER
 BJW 07-29-24

PROJECT ID
 24-024

SHEET TOTAL
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HOPE TIMBER - FINAL DEVELOPMENT PLAN

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SIGHT DISTANCE PLAN

DESIGN AGENCY



DESIGNER

BJW

REVIEWER

BCK 07-29-24

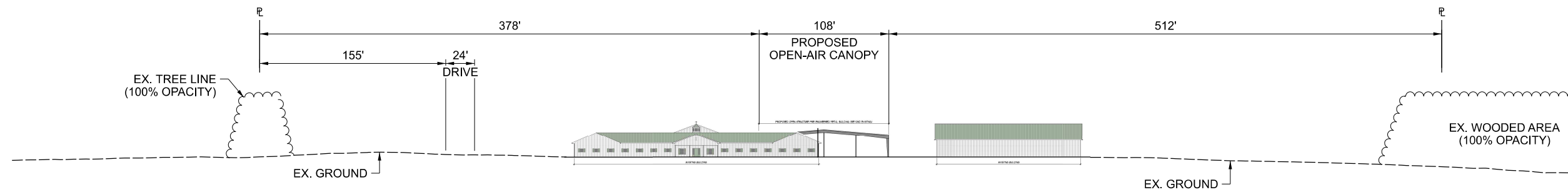
PROJECT ID

24-024

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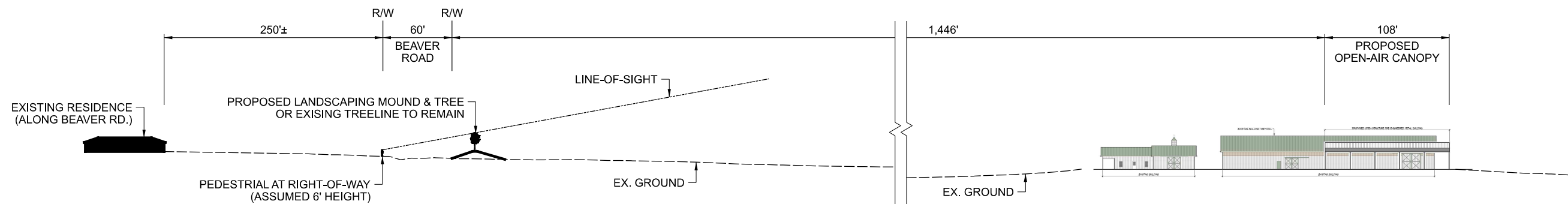
SOUTH ELEVATION



PLAN NOTES:

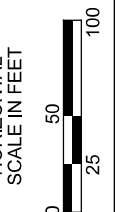
SITE OBSTRUCTED FROM VIEW OF NEIGHBORS ON BOTH EAST AND WEST BY EXISTING TREELINE & WOODED AREAS

EAST ELEVATION



PLAN NOTES:

SITE OBSTRUCTED FROM VIEW OF NEIGHBOR ON NORTH BY EXISTING WOODED AREA

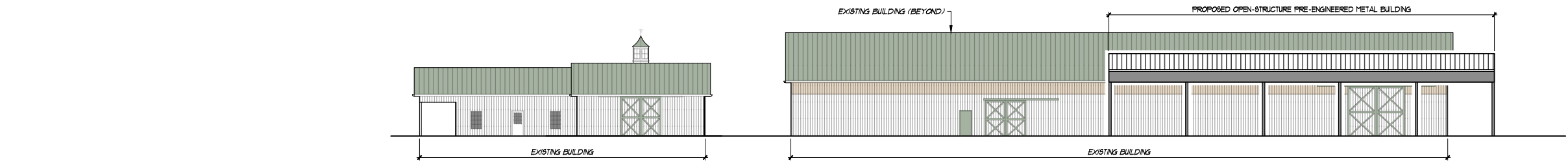


LINE-OF-SIGHT PLAN

DESIGN AGENCY

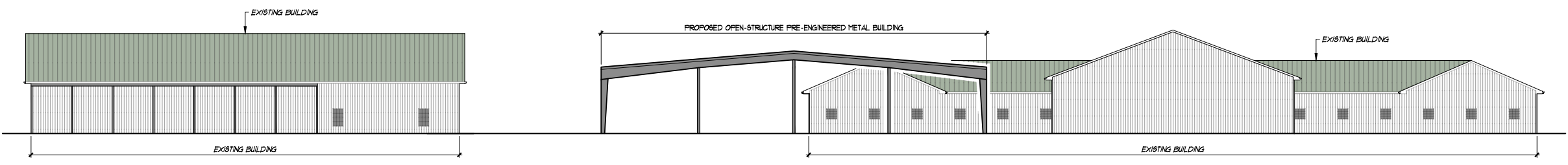


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| DESIGNER | BJW |
| REVIEWER | BCK |
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| TOTAL | 8 |



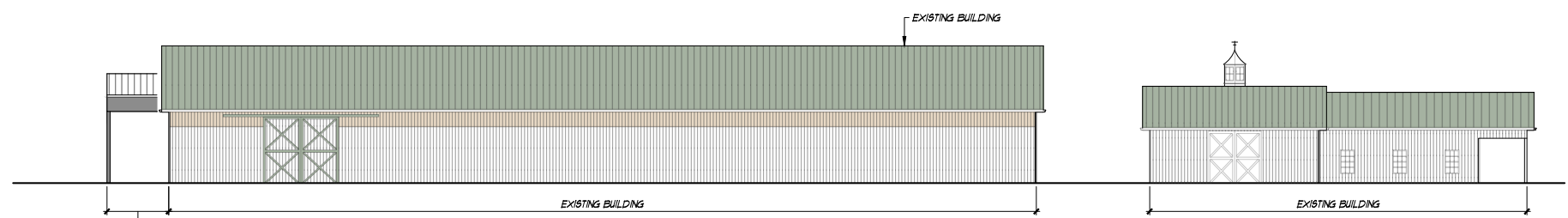
EAST ELEVATION

4
A1



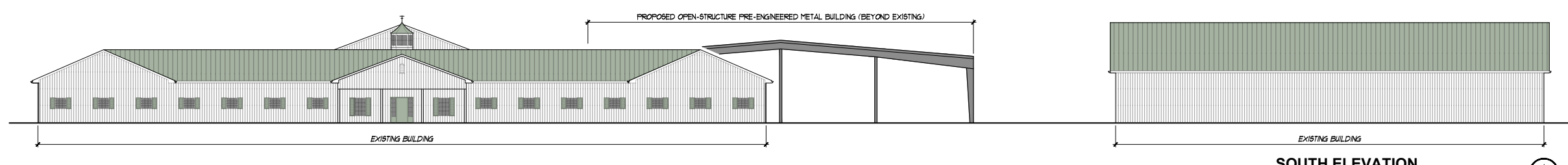
NORTH ELEVATION

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A1



WEST ELEVATION

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A1



SOUTH ELEVATION

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| No. | REVISION DESCRIPTION | DATE | BY |
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HOPE TIMBER
 HOPE TIMBER PALLET & RECYCLING
 11062 Beaver Road NW, Johnstown, Ohio 43031

PROJECT ARCHITECTURE LTD.
 Programming, Planning, Architectural Solutions

DEVELOPMENT PLAN
 DRAIN: TJS
 CHECKED: LEB
 DATE: 1/16/2024
 JOB: 2024-008
 SHEET: A3.1